

Peak One Design Review and You

THE PEAK ONE NEIGHBORHOOD DESIGN STANDARDS

April 2015

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1. Statement of Intent

It is the intent of these standards to provide direction to owners for the improvement of their properties, to establish thresholds for design quality and the suitable application of materials, and to insure sensitivity to Peak One Neighborhood residents. Compliance with the spirit of these standards is crucial in maintaining quality of life, property values, and visual effectiveness of the neighborhood.

The standards have been written to encourage a variety and diversity of thoughtful design within the neighborhood while at the same time respecting certain existing design patterns that: a) maintain the sense of community and place; b) establish and preserve a harmonious design for the Project; c) protect and enhance the value of the Property, Lots and Units; d) respect the environment.

It is not the intent of these standards to burden owners when they chose to improve their property; these standards should guide owners through the design review process to ensure a successful project for you and the neighborhood.

These standards may be amended from time to time and it is the responsibility of the owner to obtain and review all changes. Current copies may be obtained from the Neighborhood Administrator, info@peakoneneighborhood.org and on The Peak One Neighborhood Association website www.peakoneneighborhood.org.

Special Consideration for Peak One Neighborhood Drainage Plan.

Due to the limits of the drainage infrastructure Peak One Neighborhood, it has been determined that each lot may add no more than 300 sq ft of additional impermeable surfaces beyond what was present at the time of the first and initial conveyance of the property. As part of the DRC & plan review process the Town of Frisco will be recording this information in the real property files.

Examples of Impermeable Surfaces include but are not limited to: patios, decks, walls, sheds, driveway/asphalt concrete, walkways, flagstone surfaces, hot tubs, compact road base, etc.

2. Design Review Procedures

- 2.1 Step One: Determine if your project requires approval from the Design Review Committee (DRC) and the Town of Frisco (TOF). Please contact the Town Community Development Department, 970-668-5276 at the same time as your submittal to the DRC. They can also supply you with a copy of your site plan.

When considering and planning your project each lot is limited to a maximum of 300 additional square feet of impermeable surface from the original state at time of the initial conveyance.

Changes Requiring Approval: Any and all “Exterior Modifications” to your home and/or property, including landscaping. Essentially, this includes construction, installation or placement of any improvements of a permanent nature on your property.

Please note: Interior Modifications to your home, although not requiring DRC approval, may require TOF Community Development Department (Planning and/or Building) approvals. Call or meet with a planner to be sure.

Examples of improvements that require DRC review and approval:*

- Building a garage, shed, fence, or deck or patio.
- Replacing existing siding, windows, doors, garage doors, or roofing when the replacement is a different material, size, shape, and/or color than that of the existing material (i.e. other than normal maintenance).
- Planting or removing trees (see suggested trees species in Appendix 5.5).
- Adding a parking pad. (Parking pad must meet TOF standards.)
- Adding solar panels to a roof.
- Adding underground sprinkler systems.
- Any impermeable surface, e.g. Shed, walkway, parking pad, patio, hot tub, parking pads, flagstone, walkways & etc.
- Replacing or adding exterior lighting fixtures.

Examples of improvements that do not require DRC review and approval:*

- Interior modifications to your home.
- Planting or hanging annual flowers.
- Planting perennial plants
- Temporary holiday decorations.
- Replacing existing siding, windows, doors, garage doors, or roofing when the replacement is *exactly* the same material, size, shape, or color of the existing (i.e. normal maintenance).
- Laying sod
- Installing rain gutters and downspouts when they meet the requirements of section 4.19

*The lists above only provide examples of improvements; exclusion from this list does not mean your improvement does not require DRC approval. Please contact the Neighborhood Administrator if you are unsure whether or not your improvement requires DRC approval.

Also, please note that many improvements may also be subject to Town of Frisco approval and permitting. To make your project go smoothly please contact the Town of Frisco at the same time you begin your project with the HOA, to insure your project is compliant with Frisco Town Code as well as the design standards of the neighborhood.

2.2 Step Two: Prepare required materials to submit to the DRC for review

Your application to the DRC must include: 1. Standard Cover Letter (see appendix 5.2 and 5.3 for copy) and 2. appropriate drawings (site plan and/or elevations) as described below.

The Standard Application Cover Sheet (appendices 5.2 and 5.3) includes all of the following:

1. Description of your proposed exterior improvements for review by the DRC and, if required, initial review by the TOF Planning Department.
2. Location of your improvements. Copies of your property's Improvement Location Certificate (ILC) or platted site plan can be obtained from the TOF Planning Department. Also, any recorded property easements can be obtained.

3. Proposed materials
4. Proposed colors
5. Construction schedule
6. Phasing plan (if applicable)

The Standard Application Cover Sheet shall include a site plan and elevations, if appropriate. These plans must meet all of the following requirements:

1. Plans must be presented in a legible format, be scalable and accurate.
2. Plans must be to scale. The site plan shall be drawn at a scale of one inch equals twenty feet (1" = 20') or one inch equals ten feet (1" = 10'). 1" = 10' is preferred.
3. Site plans should include as needed:
 - a. Your name, property address, and legal description of your property.
 - b. Property lines.
 - c. Dimensions.
 - d. Structures, existing and proposed.
 - e. Existing natural features.
 - f. Grading plan with existing and proposed topography (if applicable).
 - g. Location of landscape materials to be planted or removed.
 - h. Description of how any material to be removed is being disposed.
 - i. Any existing public utility pedestal or easements.
 - j. Square footage of any proposed impermeable surfaces not to exceed 300 square feet total.
4. Elevations should be provided for any proposed improvement that is not at grade level.
5. Plans for lots that are not yet landscaped should include all details for the proposed landscaping and irrigation.
6. Photographs (if applicable) are helpful to present proposed improvements such as picket design or to show neighbors' fences to be matched.
7. Before you begin any Improvements, any plans for accessory buildings, sheds, fences, trees, etc., subject to TOF approval must include your approved Development Permit and/or Building Permit from the TOF.

2.3 Step Three: Submit your application to the DRC

Email your application to the Peak One Neighborhood Administrator preferably via PDF to the email provided info@peakoneneighborhood.org.

2.4 Step Four: Await a decision from the DRC

The standard of review for your application shall be as set forth in 1.0 Statement of Intent (above). A practical time limit may be subject to the number of applications to be reviewed. Additional time may be applied due to the volume of applications received and their complexity. You may contact the Neighborhood Administrator, 970-668-0717 x704, info@peakoneneighborhood.org, to check the status of your submittal after 30 days.

If formal meeting are being held the applicants are encouraged to attend DRC meetings to answer any questions that the DRC may have re: their application. During these meetings, the DRC will choose to 1. Preliminarily approve your application as submitted or 2. request

further information on your application or 3. Preliminarily approve your application with conditions.

A written Final Approval with Conditions will be issued within five business days of approval by the DRC. You will be required to meet the terms of the Conditions set forth in the Final Approval to commence work on your improvement, or you may choose to modify the initial improvement proposal and resubmit an application to the DRC following the same procedure as the original submittal.

Remember, in addition to DRC approval, the Town of Frisco (TOF) may have codes that need to be adhered to and additional permits may be required before beginning any work. The TOF should be consulted as part of the planning process.

2.5 Step Five: Commencement and Completion of Construction

Upon receipt of approval from the DRC, you shall obtain any required permits from the Town of Frisco and then begin construction/alteration pursuant to the approved DRC application. If you fail to commence construction/alteration within the same building season of your approval please communicate this to the HOA office.

Please notify the DRC or administrator upon completion of your improvement. The DRC will verify that your improvement is consistent with the approved plans.

3. Definitions

- 3.1 “Front Wall”: The “Front Wall” shall be any wall (and a building may have more than one “Front Wall”) facing a sidewalk, green, public road and/or alley.
- 3.2 “Front Yard”: A yard extending between the side lot lines across the full width of the lot and lying between the front lot line and any portion of any structure on the lot. In those instances where a lot abuts two (2) streets, such as a corner lot or a double frontage lot, the DRC shall designate which yard constitutes the front yard, based on existing development patterns within the neighborhood.
- 3.3 “Side Yard”: A yard extending between the front and rear lot lines along the full width of the lot and lying between any side lot line that does not abut a public way and any portion of any structure on the lot.
- 3.4 “Back Alley”: A yard extending between the side lot lines across the full width of the lot and lying between the rear lot line or alley and any portion of any structure on the lot.
- 3.5 Site plan: A scalable drawing of your property with existing and proposed improvements, your address and the legal description of the lot. The site plan shall include labeled property boundaries, any easements, buildings, landscaping and utility structures. Lot plans are available (at no charge for deed restricted properties) from the TOF Planning Office in Town Hall.
- 3.6

4.1 Governing Documents

The Governing Documents can be found at the Association Office. If conflict occurs between this document and the Governing Documents, then the provisions of the Governing Documents shall prevail.

4.2 Patios

Patios are prohibited in any Front Yard. Patios are also prohibited in any area ten feet (10') behind the plane formed by the Front Wall of the house; however, the Design Review Committee may approve patios located in such areas if the patio is: i) designed to be consistent with neighborhood architectural character; ii) located behind an adequate landscape buffer so it is well screened and not readily visible from the adjoining green and/or street; and, iii) located so as to protect the privacy of immediately adjoining neighbors and so as to not be directly visible from an immediately adjoining front porch; or iv) is proposed on a double home lot where the "Front Yard" may also be considered the "Side Yard".

Please note patios are subject to the square footage limits dictated by the Peak One Drainage plan.

4.3 Landscaping

DRC approval is required for landscaping that involves change in grade, elevation or drainage, especially landscaping beyond plantings in the "Front Yard" (as defined in section 3.2). Approval is needed for walkways, patios, retaining walls, and rock placement. Approval is NOT required for simple laying of sod nor for planting annual or perennial plants. A list of suggested native plantings can be found in Appendix 5.5. (See Appendix 5.6 re: TOF rules.)

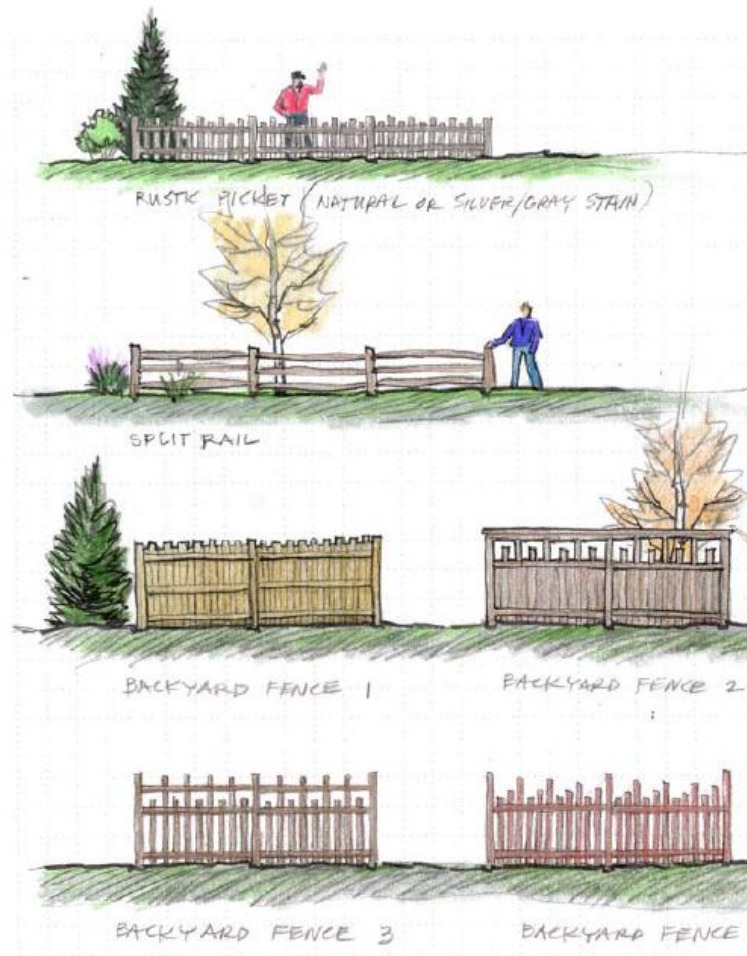
4.4 Fences

4.4.1 Construction

Material: Fence pickets may be made of kiln dried pine beetle kill wood.

Color: The fences shall be left natural to age.

Pickets styles: The DRC will consider adjacent fencing picket styles when approving the proposed style. See drawings of approved fence styles below.



Fence Gates: Gates must be constructed with the same materials as the fence, remain the same height as the fence, and maintain the same picket spacing as the fence. Double-door gates are subject to approval by the DRC.

Other guidelines:

1. The depth at which posts are seated should be appropriate for the fence post height, with concrete footing preferred. The commonly accepted standard is one-third (1/3) of the height of the post should be underground and placed in concrete; i.e., a post thirty inches (30") above ground should have fifteen inches (15") in the ground with concrete poured around the base.
2. Fence lines must be aligned in a straight line.
3. Picket tops must line up appropriately. Also, lower edges of pickets should not be at ground level, rather up to a few inches above ground to prevent rotting of lower picket edges.

4. All jogs, corners, turns of fence must be explicitly delineated on the site plan drawing plus the objects/reasons for the jogs should be delineated or described.
5. The outside face of the pickets must face outward toward alleys, streets, parking spaces and neighbor's property as applicable.

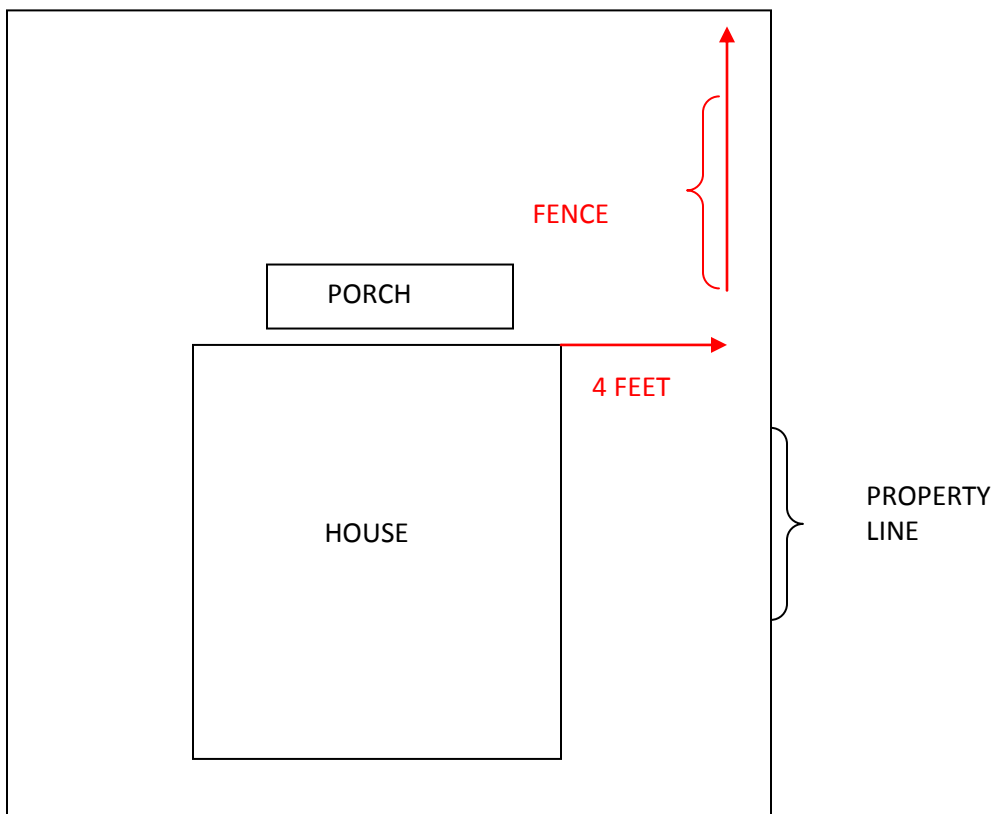
4.4.2 Front Yard Fence

The fence shall be placed on the front property line, abutting the green where applicable. Any fence that defines the front yard property lines shall be no taller than thirty-six inches (36") high. Front yard picket spacing can be no less than 25%* of the picket width. For example four-inch (4") pickets would be spaced not less than one inch (1") apart. "Front yard property lines" shall be deemed to include all property lines (front or side) that are in the Front Yard defined above (in section 3.2).

A fence that separates the front yard from the back yard: i) may be not more than forty eight inches (48") high with picket spacing no less than 25%* of the picket width; ii) shall begin at least at, if not behind the plane formed by the Front Wall of the house (as defined in section 3.1). Fences of more than thirty-six inches (36") height must be at least ten feet (10') or more behind the front plane of the house and may not exceed 4' feet per town code; and iii) in no event shall the fence dissect any porch or window on any property.

The portion of the fence forward of the Front Wall of the house (excluding the porch) must be on your property line or four feet (4') from the side wall of your house, whichever is less. (See illustration below.)

*The DRC may approve spacing less than 25% when the intent is to match an existing fence with spacing less than 25%.



Gates on Porch: Gates must be constructed with the same materials as the rest of the porch railing, remain the same height as the railing and maintain the same spacing as the railing. The gate shall also be painted to match and blend in seamlessly to the rest of the porch. Porch gates built to these specifications shall not require specific approval from the DRC.

Privacy fences of over 4' shall be only in the back yard per town code and may not exceed 6'.

4.5 Decks

Decks are only permitted behind the Front Wall of a home. In those instances where a lot abuts two (2) streets, such as a corner lot or a double frontage lot, the DRC shall designate which wall constitutes the Front Wall, based on existing development patterns within the neighborhood.

Materials and colors should be selected to match existing porches and railings and are subject to DRC approval. The DRC may request material samples when an applicant is proposing a synthetic deck material.

Lattice is required to be installed on the perimeter of a deck when the deck is greater than one foot (1') above grade. Decks may be subject to TOF Building Department approval. (See Appendix 5.6 re: TOF rules.)

4.6 Parking Pads

All parking pads must be paved and may be constructed with paving materials approved by the TOF. All materials are subject to DRC approval. Two (2) strips of paving material no less than twenty-four inches (24") wide each are acceptable. Gravel parking pads are subject to DRC approval. Parking pads shall be no less than nine feet (9') wide by eighteen feet (18') deep. The size and location of a parking pad is subject to DRC approval. It is expected that you will make accommodations for snow storage as part of your plan. In addition snow storage, landscaping, and drainage should be carefully considered when designing a parking pad. Check with the Town of Frisco for any additional regulations.

4.7 Accessory Buildings

All accessory buildings, including but not limited to, sheds, Garages, Garage with Bonus Rooms and Carriage Houses shall be located at the rear of the lot not less than seven feet off of the alley and will require TOF approval. The Peak One Neighborhood Master Plan (on file at the TOF) dictates the allowed width, depth and height of garages, garages with bonus rooms, and carriage houses.

4.8 Garages

Garages shall be built consistent with the specifications shown below, unless otherwise approved by the DRC. Garages shall use siding, trim, colors and roofing material identical to the main house. Garage doors and garage man-doors must be painted the primary or

“body” color of the house and garage (i.e. garage doors may not be painted the color of the trim). Engineered and approved Garage plans can be purchased from Traditional Neighborhood Builders.

4.8.1 Standard Garage

Garages shall be built consistent with the specifications shown below, unless otherwise approved by the DRC. Garages shall use siding, trim, colors and roofing material identical to the main house.

4.8.2 Garage with Bonus Room

The Garage with Bonus Room shall: a) be built consistent with the specifications shown below, unless otherwise approved by the DRC; b) shall not have any plumbing, which includes kitchen, bath or sink; or access to water (a kitchen shall be defined as a space used for food preparation that has either a full size refrigerator or a range – i.e. no gas line or 220 V utility feeds are allowed in Bonus Rooms); c) the main house plus the garage with bonus room shall not be occupied. This space may be used for a home office, rec room or storage d) the finishes for a Garage with Bonus Room shall use siding, trim, colors and roofing material identical to the main house; and e) the Garage with Bonus Room shall not be rented.

For home occupations you shall contact the Town of Frisco for ensure compliance with town codes.

4.9 Exterior Colors and Materials

4.9.1 Exterior colors

A homeowner must submit an application to the DRC to change the color scheme of their property. No more than 3 different colors may be used on a property. The DRC will consider: a) adjacent property color schemes, and b) increased or decreased maintenance resulting from the color change while reviewing applications.

Applicants must provide color swatches with their application for all proposed colors. Check with the Town of Frisco for any additional regulations or restrictions.

4.9.2 Exterior Materials

All building and/or improvement materials exposed to weather shall be of: brick, stone, stucco, hardboard, smooth cedar, smooth redwood, pressure treated pine, alternative eco-friendly materials (i.e. Trex™), or other materials approved by the DRC. (See Appendix 5.6 re: TOF rules.)

4.10 Roof Materials

Asphalt shingles, and corrugated metal are the preferred roofing material for all structures in The Peak One Neighborhood. Alternative roofing materials are subject to DRC approval and shall be considered on individual merit with particular consideration given to the quality of materials, color, pattern, and warranty. (See Appendix 5.6 re: TOF rules.)

4.11 Windows and Doors

Window and door style and size are subject to DRC approval when replacement is not an exact duplicate of the existing windows and doors. Check with the Town of Frisco for any additional regulations or restrictions.

Window frames must be factory standard “white” color. Operable windows are recommended.

Front/Entry-way doors are required to be solid wood. Only back, side, and garage man-doors may be made from metal and must be painted to match garage door.

Storm Doors: The following storm doors have been pre-approved by the DRC and do not require further approval:

Screens and screen frames must be charcoal color. Screens must be maintained, free from rips and tears.

Prefinished aluminum storm doors that are “E-Star” rated and qualify for Federal Income Tax Energy Credit are acceptable if a) the door is over 75% glass allowing clear sight of the main stained wood door; b) that the frame is white; and c) the door is of high quality, dent resistant construction.

Exterior sliding glass doors are not permitted. Aluminum doors that have been approved based on the criteria above are the Andersen Series 3000, the Andersen Series 2000, and EMCO 300 Series Triple-Track. The Andersen Series 4000 would also meet the criteria above.

Any storm door not included on the list above requires DRC approval. A cut sheet, brochure, or similar document of the exact door proposed is required for DRC approval.

4.12 Solar Applications

While approval from the DRC and the TOF is required, energy-saving features and active solar applications are encouraged whenever possible. Solar panels, when used, shall be integrated with the roof form to be as unobtrusive as possible. Solar panels must be roof mounted and shall be flat glass with frames colored to match adjacent surfaces and shall be installed flush with the roof line. Special consideration shall be given to color, finishes, and reflective aspects of solar panels as they may affect neighboring homes. (See Appendix 5.6 re: TOF rules.)

4.13 Satellite Dishes

Satellite dishes and high-speed internet antennas shall be mounted on the rear, alley side of structures so as to not be visible from a street or a green and to minimize visual impact to adjoining property owners whenever possible. Installation of satellite dishes and high-speed internet antennas shall be approved by the DRC and the TOF. It is the homeowners responsibility to demonstrate that such positioning is not possible in order to receive a variance from the DRC. Any satellite dish installed prior to May 15, 2002, shall be exempt from the above.

4.14 Hot Tubs

Hot Tub style, size, and placement are subject to DRC approval. The DRC may require the applicant to shield a proposed hot tub from neighboring homes and streets or alleys with a permanent structure or landscaping. (Check with the Town of Frisco for additional regulations)

4.15 Outdoor Play Structures

Outdoor play structures and trampolines shall require DRC approval. Such structures must be constructed primarily from natural materials and colored to compliment the surrounding natural environment or built environment. The DRC may require approved structures taller than 9' tall be fenced in to protect the safety of all neighbors.

4.16 Exterior Speakers

Exterior speakers should be recessed or installed so they are not highly visible to pedestrians from the property line. Surface-mounted speakers or grills should be colored to match the house.

4.17 Gutters & Radon Mitigation Systems

Gutters and radon mitigation systems must be colored to the other gutters installed on your home. If you wish to use an alternative color DRC approval is required.

4.18 Miscellaneous

4.18.1 Trash/Recycle Receptacles

It shall be the duty of all homeowners and all tenants producing or having garbage, to provide and keep watertight garbage cans of galvanized metal or other nonabsorbent material in which all garbage shall be kept. All garbage shall be placed and kept in such cans until it is hauled away.

All garbage cans and similar refuse receptacles that do not have a latching mechanism which keeps the lid tightly closed against the can or receptacle and which prevents access to the contents of the can or receptacle by wildlife shall be stored inside a home, garage, building or shed. In addition, garbage cans can only be placed at curbside after 6:00 am on the day of pickup and must be removed from the

curb by 10:00 pm that day. The TOF also has specific requirements for trash/recycle receptacles.

4.18.2 Signs

All signs must be approved by the DRC. (They may also require Town of Frisco Approval) Homeowners may have political signs in their yard, not to be posted on structures or trees. Temporary construction signs are permitted when approved by the DRC. No signs may be displayed on association property or Town rights of ways.

4.18.3 Clotheslines

DRC approval is required for placement of exterior clotheslines. It is preferred that these lines be located to be visually unobtrusive as possible and also be retractable or removable. They must be placed only in the backyard of the house, facing the alley. For lots abutting a street on the side of the property, it is preferred that clotheslines be placed on the half of the lot farthest away from the street

Appendix 5.0

Administrator Guidelines for Maintenance Review Compliance

The Board has the sole discretion to determine these guidelines. Amendments may be made from time to time. Check with the association office for the most recent copy of these guidelines.

Penalties, Fines and Assessments

The Board has agreed to adopt the following timeframes and procedure for remedying issues that are uncovered as a part of the maintenance walkthrough.

Timeframes for completing maintenance following notice

- Maintenance of Lawn (E.g. mowing, weeds, etc) – 14 days
- Staining deck, touch ups of paints – 2 months
- Overall house paint – 1 year
- General repairs – 2 months
- Removal of items from porch or other area. – 14 days

Fines & Penalties

Since our goals is to have the work done rather than fine people who may then continue to leave the work undone We propose that for work e.g. painting, repairs etc. that is not taken care of within the above time frames we give a final 14 day notice and will then hire it out and charge a 50% mark up on the final bill..

- \$100 to mow & trim a lawn.
- \$ 50 for weed treatment
- For improper storage on porches and yards: \$ 50 a week.
- For improper storage of boats, trailers, etc: \$100 week.

Maintenance Review Check List

The Board designed this Check List for use during our maintenance walkthroughs

The Peak One Neighborhood Association strives to help homeowners maintain a clean and orderly neighborhood in order to promote pride in our neighborhood and preserve property values over the long term. This document will aid in defining maintenance standards for the properties so that property owners have a clear and well defined idea of what is expected.

Landscaping in the neighborhood should be maintained as follows:

- Grass mowed and weed free, areas around trees and fences should be weed whacked and look clean and tidy.
- Plants & Trees should be tended too, pruned as needed. Dead branches or debris should be cleaned up
- Mulch, Gravel and other landscaping materials should be raked, weed free and clear of debris

Structures – Houses, Garages, Fences & Sheds should be maintained as follows:

- No damaged or missing materials, surfaces should be in well maintained condition.
- Lights need to be dark sky compliant to conform to the town's lighting standard.
- Paint on Houses, Garages, Decks etc should be painted if it is faded, chipping, flaking or worn in areas. Home owners should expect to repaint houses every 5-6 years and decks railings should be re-stained every 2 - 3 years depending on the wear and tear they receive.
- Parking areas should be crack free without stains and little or no damage to the surfaces. The areas around the parking areas should be weed free and kept neat and tidy.
 - Sheds, & Fences should be kept in good repair with not rotten or broken boards. Any broken or rotten boards should be replaced with like material and let to age properly.

Other items

- Decorations and non permanent landscaping features like lights, outdoor furniture etc. should be clean and well tended. Note: Double homes have an exemption and may store up to three bikes since there is only one porch on these houses.
- No personal items should be permanently stored on Front Porches. Items that are used regularly e.g. strollers and bicycles and grills could be placed here for ease of access.
- Yards should be tidy with toys and other personal items picked up and stored in a neat and orderly

For the purposes of a maintenance walkthrough please rate the properties below for each landscaping, structure & other on the following 1-5 scale:

- 5 – Excellent - This property exemplifies the standards above
- 4 – Good - Things look good but not quite perfect
- 3 – Average – Clearly people live here. Things are not perfect but all and all they are looking good
- 2 - Needs Improvement – This property needs some work on these items
- 1 – Poor - This property needs immediate focused attention to these items

Appendix 5.1

Design Review Application Checklist

5.1 Design Review Application Checklist

- Determine if your project requires approval from the DRC and TOF.
- If approval is required, prepare required materials to submit to the DRC & TOF for review:
 - __ Standard Application Cover Sheet
 - __ Appropriate drawings, photos, site plan and/or elevations
 - __ If a neighbor's easement is being used for a fence, obtain a signed letter of permission from the affected neighbor to submit to the DRC with your application.
 - __ Indicate how much additional square footage of impermeable surface is being added. This is not to exceed 300 sq ft from the first initial conveyance of the property.
- Submit your application to the DRC.
- Upon receipt of approval from the DRC, obtain any required permits from the Town of Frisco, then begin your planned construction/alteration observing any conditions set forth in the Final Approval.
- Complete your improvements within the time approved on your application or communicate a change in schedule to the DRC.
- Notify the DRC or administrator upon completion of your improvement.

APPENDIX 5.2

DRC APPLICATION COVER SHEET--GENERAL PEAK ONE NEIGHBORHOOD APPLICATION FOR DESIGN REVIEW

The Design Review Committee (DRC) will receive all of the following information and may call or walk your property to get a better sense of the project. Please be sure to provide a phone number or an email address where you can easily be reached. The DRC may contact you prior to meeting to clarify any part of your application in order to streamline the approval process.

In addition to the following information, application shall have attached a site plan of your lot and elevations (if applicable to the improvement).

DATE SUBMITTED:

NAME:

ADDRESS:

TELEPHONE:

EMAIL ADDRESS:

1. Description of the improvement:
2. Description of materials to be used:
3. Sq ft of additional impermeable surface:
4. Colors to be used:
5. Anticipated start and Completion date:
6. Location on property and dimensions: (show on site plan)

APPENDIX 5.3

COVER LETTER--FENCES ONLY
PEAK ONE NEIGHBORHOOD
APPLICATION FOR DESIGN REVIEW – FENCES ONLY

The Design Review Committee (DRC) will receive all of the following information and may call or walk your property to get a better sense of the new fence. Please be sure to provide a phone number or an email address where you can easily be reached. The DRC may contact you prior to meeting to clarify any part of your application in order to streamline the approval process.

In addition to the following information, application shall have attached a site plan of your lot.

DATE SUBMITTED:

NAME:

ADDRESS:

TELEPHONE:

EMAIL ADDRESS:

1. Location and orientation of rail and picket sides on property (also show on site plan)
2. Picket style:
3. Picket spacing:
4. Picket size:
5. Picket material:
6. Color:
7. # of gates:
8. Gate location(s):
9. Gate style:

Appendix 5.4

Sample Approval Letter

Peak One Neighborhood Association
P. O. Box 4626
Breckenridge, CO 80424
970-453-5303
Info@peakoneneighborhood.org

August 26, 2012
Ms Jocelyn Mills
Community Development
Town of Frisco
1 Main Street
Frisco, CO 80434

RE: Fence
Jane and Barry Whoville
100 Belford St
Frisco CO 80434

Dear Ms. Mills:

The Peak One Neighborhood Association has approved the attached plans for the above mentioned fence to be built subject to the following:

- A. Must be built substantial compliance to the plans
- B. Fence must out of kiln dried beetle kill wood and left to age naturals or, any other color approved by the Design Review Committee. It must also comply with all fence guidelines of picket style, width, material and spacing provided by the DRC.
- C. To be completed within 90 days of commencement.
- D. Maintain clean and order work site during construction.
- E. The DRC is not responsible for any defects in plans and specifications or construction. The Owner is responsible for complying with all applicable government laws and regulations.
- F. It is recommended that Owners locate the exterior boundaries of all Lots, Easements and Common Elements affected by the proposed improvements prior to construction.
- G. Make sure you call Xcel Energy and Qwest to mark any power and phone lines before you begin digging.
- H. Upon completion of the project please notify the Association administrator at Info@peakoneneighborhood.org for a final review and inspection of your project by the Design Review Committee.

Sincerely,
Peak One Neighborhood Association
Design Review Committee
Design Review Committee

APPENDIX 5.5



High Altitude Plant List



The principals of Neils Lunceford, Inc. have been studying and creating landscapes at high altitudes for over 25 years. Since the inception of Neils Lunceford, Inc. in 1980, quality education and professional creativity have become constant products of the firm.

Neils Lunceford Nursery is located at 8,750 feet above sea level and our work has taken us to an elevation of 12,500 feet above sea level. These elevations and the general climate of Summit County render quite an interesting and challenging plant list. Neils Lunceford has one of the largest selection of plant materials in the mountain area. The qualified staff at Neils Lunceford has been conducting numerous experiments and research projects for many years to better understand native plant, low maintenance and drought tolerant species. These efforts have resulted in the introduction of very useful plants increasing our high altitude plant palette.

The following is a partial list of plant materials found or grown in Summit County, Colorado by Neils Lunceford, Inc.

740 Blue River Parkway, P.O. Box 2130 Silverthorne, CO 80498
(970) 468-0340 (970) 468-6865(FAX) www.neislunceford.com

NEILS LUNCEFORD PLANT LIST TABLE OF CONTENTS AND GUIDE

Trees and Shrubs
Perennials
Annuals
Early Flowering Plants
Mid Season Flowering Plants
Late Season Flowering Plants
Herbs, perennial and annual
Bulbs
Drought Tolerant / Water-Wise Plants
High Altitude Wetland Plants
Shade Tolerant Plants

THROUGHOUT THIS PLANT LIST, USE THE RATINGS AND SYMBOLS BELOW AS GUIDELINES TO CHOOSE THE PLANT MATERIAL THAT BEST SUITS YOUR LANDSCAPE NEEDS.

- X** = Thrives in slightly dry conditions. Once established, these plants generally require about 1" of water per week.
- XX** = Thrives in dry conditions. Once established, these plants generally require about 1/2" of water per week.
- XXX** = Thrives in very dry conditions. Once established, these plants generally require about 1/2" of water every two weeks.



= Good Plant For Cut Flowers



= Native to Colorado



= Typically Deer Resistant



= Attracts Butterflies



= Attracts Hummingbirds







= Needs Protection










TREES AND SHRUBS

TREES

DECIDUIOUS

Aspen 
 Balsam Poplar
 Mayday 
 Narrowleaf Cottonwood  
 Shubert Chokecherry **X**
 Crabapple 'Radiant' & 'Spring Snow'

CONIFEROUS

Bristlecone Pine  **XX**
 Colorado Spruce  
 Engleman Spruce 
 Limber Pine **XX** 
 Lodgepole Pine   **XX**
 Ponderosa Pine **XX**
 Rocky Mountain Douglas Fir
 Sub Alpine Fir  

SHRUBS

Alder, Thinleaf  
 Antelope Bitterbrush **X** 
 Birch, Bog 
 Birch, Western River 
 Buffaloberry, Russet  or Silver **XXX**
 Cherry, Cistena (Purpleleaf Plum) **X** 
 Cherry, Western Sand 
 Chokeberry, Black **X**
 Chokecherry, Native **X**  
 Chokecherry, Shubert's **X**
 Currant, Alpine **XXX**
 Currant, Red Lake **XXX**
 Currant, Golden **XXX** 
 Currant, Squaw or Wax **XXX** 
 Dogwood, Red & Yellow Twig
 Elder, Golden
 Elder, Red Berried 
 Fernbush **XXX**
 Gooseberry, Pixwell & Whitestem **XXX**
 Honeysuckle, Arnold's Red **XX**
 Honeysuckle, Blue Velvet
 Honeysuckle, Emerald Mound
 Honeysuckle, Twinberry 
 Juniper **XX**
 Kinnikinnick **XX** 
 Lilac, Canadian & Common **XX**

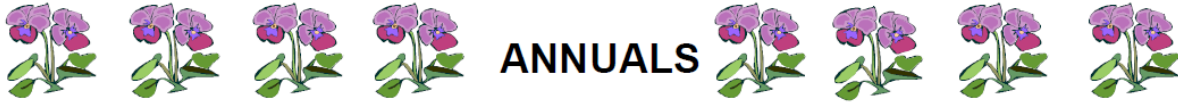
Mahonia, Creeping  
 Maple, Ginnala (Amur) **XX**
 Mountain Lover 
 Mountain Ninebark **XX**
 Mugo Pine **X**
 Peking Cotoneaster **XX**
 Potentilla **XX** 
 Raspberry, Boulder
 Raspberry, Wild **XX**
 Rose, Canadian
 Rose, Harrison's Yellow
 Rose, Red Leaf **X**
 Rose, Woods **XX** 
 Sage, Big Leaf **XXX** 
 Serviceberry **X**
 Siberian Peashrub **XXX**
 Snowberry, Mountain  or White
 Spirea, Rock  or Ashleaf **X**
 Thimbleberry 
 Waxflower
 Willow, Bluestem
 Willow, Climax 
 Willow, Coyote 
 Willow, Creeping
 Willow, Dwarf Artic
 Willow, Golden or Mountain 

The success of each plant depends on the location of the site in Summit County and many other environmental factors. Ask an nursery salesperson for suggestions for your site.

PERENNIALS














Ajuga	Geum XX	Pussytoes XXX 
Alyssum XX  	Goldenrod   	Rockcress XX
Anemone, species	Harebell X 	Sage Buttercup
Anthemis XX	Hens & Chicks XX	Salvia XX
Aster XX  	Hop Vine	Sandwort XX
Baby's Breath, Creeping XX	Hosta	Saxifrage
Bachelor Button XX	Iceplant XX	Scabiosa XX 
Balsam Arrowroot 	Indian Paintbrush  	Sea Pink XX
Barren Strawberry	Iris, Bearded 	Sedum, 'Atumn Joy' XX
Bellflower X 	Iris, Rocky Mountain	Sedum, 'Dragon's Blood' XX
Bergenia	Iris, Siberian	Sedum, species XX 
Bishop's Weed XX	Irish & Scotch Moss	Senecio
Black-Eyed Susan XX  	Jacob's Ladder XX 	Silver Mound XX
Bleeding Heart  	Lady's Mantle X	Snow-in-Summer X
Blue Bells (Mertensia) 	Lambs Ears XX	Soapwort X 
Blue Eyed Grass	Lamium	Strawberry, Domestic & Wild
Border Jewel XX	Larkspur	Sulphurflower XXX
Buttercup, Creeping	Leopard's Bane	Sunrose XX
Campion, Moss	Liatris X 	Sweet William
Candytuft X	Lily	Sweet Woodruff X
Columbine X	Locoweed, Rocky Mtn. 	Thyme XX
Coral Bells X  	Lupine  & Russell's Hybrid	Veronica, Spike
Coneflower X	Maltese Cross XX	Veronica, Creeping XX
Cushion Spurge XXX 	Meadow Rue 	Veronica, Turkish Woolly XX
Daisy, Shasta and Painted X	Mints	Viola
Daylily XX	Monarda (Bee Balm) 	Wallflower
Delphinium X	Moneywort	Yarrow XX 
Dianthus XX	Oregano	
Draba	Pasque Flower 	
Edelweiss X	Penstemon, Rocky Mtn. XXX 	
English Daisy	Penstemon XXX	
Erigeron/Fleabane XX	Peony X	
Evening Primrose XXX	Phlox, Creeping XX	
Fireweed X	Phlox, Garden	
Flax, Blue XXX	Poppy, Icelandic XX	
Forget-me-not	Poppy, Oriental XX	
Foxglove X  	Poppy Mallow X	
Gaillardia XXX 	Potentilla, Creeping	
Gentian 	Prairie Smoke XX	
Geranium X	Primula	

The success of each plant depends on the location of the site in Summit County and many other environmental factors. Ask an nursery salesperson for suggestions for your site.



Annuals provide A very long bloom time for just one year or season. Plant types and colors may be combined in many ways to produce a wide variety of effects and arrangements. Annuals are and effective way to provide quick color in gardens and on decks and patios. Many annuals may be started from seed. See the annual seed list on the next page.

"HARDY" (Tolerant of Light Frost)

<u>Plant</u>	<u>Color</u>	<u>Sun</u>	<u>Part</u>	<u>Shade</u>
African Daisy X	orange, white, purple	Sun		
Alyssum 	white, purple, rose	Sun	Part	Shade
Asparagus Fern	Foliage: green	Sun	Part	Shade
Baby's Breath	white	Sun	Part	
Bachelor Buttons XXX	blue, blue, pink, purple	Sun	Part	
Bacopa X	white, pink, purple	Sun	Part	
Cabbage, Kale	red, green, white, purple	Sun		
Calendula	orange, yellow, cream	Sun		
California Poppy XXX	orange, white, red	Sun	Part	
Candytuft 	pink, purple, red, white	Sun	Part	
Clarkia	solmon, pink, rose,	Sun		
Cosmos XX 	pink, white	Sun	Part	
Dahlberg Daisy XX 	yellow	Sun		
Dusty Miller XX 	grey	Sun	Part	
Gazania XX 	yellow, orange, red	Sun		
Godetia	pink, white, salmon	Sun	Part	
Larkspur 	blue, pink, white	Sun	Part	
Lobelia 	purple, blue, rose, white		Part	Shade
Marguerite Daisy 	white, yellow, blue, pink	Sun	Part	
Monkeyflower 	yellow, orange, red	Sun	Part	
Nastursium X 	yellow, orange, red	Sun	Part	
Nicotiana 	red, oink, purple, white	Sun	Part	
Nierembergia XX 	purple, white	Sun	Part	
Pansy X	mixed colors	Sun	Part	
Painted Tongue	mixed colors	Sun		
Petunia XX	mixed colors	Sun	Part	
Schizanthus	mixed colors	Sun	Part	
Shirley Poppy	red, white, pink	Sun		
Spike	Foliage: green	Sun	Part	Shade
Stock	pink, purple, red, white	Sun		
Strawflower	yellow, orange, red	Sun	Part	
Sweet Pea	pastels	Sun		
Vinca Vine XX	Foliage: green or white	Sun	Part	Shade
Viola X	mixed colors	Sun	Part	Shade

Sun = Full Sun (More than 4 to 5 hours of strong sun per day)








Part = Part Sun

Shade = Shade

Sun Part Shade = Full Sun to Shade

ANNUALS

" NOT HARDY/TENDER" (Intolerant of Frost)

<u>Plant</u>	<u>Color</u>	<u>Sun</u>	<u>Part</u>	<u>Shade</u>
Buckeyed Susan Vine	yellow, brown	Sun	Part	
Clome 	pink, white	Sun	Part	
Dahlia 	mixed colors	Sun	Part	
Four o'Clock XXX 	pink, red, white	Sun		
Fuschia 	red, white, blue, purple		Part	Shade
Geraniums	red, pink, white, lavender	Sun		
Iceplant	mixed colors	Sun		
Livingstone Daisy	pink, white, yellow,	Sun		
Marigold XX 	yellow, orange	Sun		
Mossrose XX	red, yellow, white, pink	Sun		
Phlox 	pink, red, white	Sun	Part	
Salvia XXX 	blue, purple, red, white	Sun	Part	
Snapdragons 	mixed colors	Sun	Part	
Twinspur XX	pink, rose	Sun	Part	
Verbena 	red, white, purple, blue	Sun		

Sun = Full Sun (More than 4 to 5 hours of strong sun per day)

Part = Part Sun

Shade = Shade

Sun Part Shade = Full Sun to Shade

Many annual flowers are easily started from seed. They may be started indoors where they should get plenty of bright light and where it's not too hot. Lots of light and cool temperatures will grow a stronger, fuller plant. Annual seed can also be sown into the fall prior to a snow that stays for the winter.

ANNUALS THAT WILL GROW WELL FROM SEED



Bachelor Buttons
 Baby's Breath
 California Poppy
 Candytuft
 Clarkia
 Larkspur
 Shirley Poppy
 Sweet Pea
 Viola



EARLY FLOWERING PLANTS



April-Early June



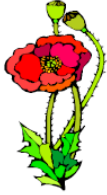
PLANT	COLOR	SUN	PART	SHADE
Basket of Gold (Allysum)	yellow	Sun		
Berginia	pink		Part	Shade
Bleeding Heart	pink white		Part	Shade
Bluebells (Mertensia)	blue		Part	Shade
Candytuft X	white		Part	Shade
Columbine X	mixed colors	Sun	Part	Shade
Creeping Mahonia	Evergreen: Yellow		Part	Shade
Crocus Bulb	blue, purple, white, yellow	Sun	Part	
Cushion Spurge XXX	yellow, green	Sun		
Daffodil (Bulb)	yellow, white	Sun		
Draba	yellow	Sun	Part	
English Daisy	red, pink, white	Sun	Part	
Forget-me-not	blue, pink		Part	Shade
Jacobs Ladder XX	blue, white		Part	Shade
Larkspur, Native	purple	Sun	Part	
Leopard's Bane	yellow	Sun	Part	
Pansy X	mixed colors	Sun	Part	Shade
Pasque Flower X	purple	Sun		
Prarie Smoke XX	pink	Sun		
Primula	mixed colors		Part	Shade
Rockcress XX	purple white	Sun		
Rock Soapwort X	pink	Sun		
Sage Buttercup	yellow	Sun	Part	
Scilla (Bulb)	blue	Sun	Part	
Snowdrops (Bulb)	white	Sun	Part	
Snow Lover (Bulb)	blue, pink	Sun	Part	Shade
Tulip (Bulb)	mixed colors	Sun		
Viola	mixed colors	Sun	Part	Shade



X = Thrives in slightly dry conditions

XX = Thrives in dry conditions

XXX = Thrives in very dry conditions



MID SEASON FLOWERING PLANTS



Mid June - July

PLANT	COLOR	SUN	PART	SHADE
Ajuga X	blue		Part	Shade
Baby's Breath Creeping	pink, white	Sun	Part	
Bachelor Button	blue, pink, white	Sun	Part	Shade
Bleeding Heart	white, pink		Part	Shade
Blued Eyed Grass	yellobluew	Sun		
Buttercup, Creeping	yellow	Sun	Part	
Catchfly, Dwarf	pink, white	Sun		
Clustered Bellflower X	purple, white	Sun	Part	
Columbine X	mixed colors	Sun	Part	Shade
Coral Bells X	yellow, green		Part	Shade
Dianthus XX	yellow, white	Sun		
Eidelweiss XX	yellow	Sun		
Evening Primrose XXX	red, pink, white	Sun		
Flax, Blue XX	blue , pink	Sun		
Fleabane XX	blue, white	Sun	Part	
Geranium, perennial X	purple	Sun	Part	Shade
Harebell X	yellow	Sun	Part	Shade
Iris	mixed colors	Sun	Part	
Jacob's Ladder XX	purple		Part	Shade
Kinnikinick	pink		Part	Shade
Locoweed, Rocky Mountain	mixed colors	Sun		
Lupine, Native	purple white	Sun	Part	Shade
Lupine, Russel's hybrid	pink	Sun	Part	
Maltese Cross X	yellow	Sun	Part	
Moneywort	blue	Sun	Part	Shade
Penstemon XXX	white	Sun	Part	
Poppy, California XXX	blue, pink	Sun		Shade
Poppy, Iceland XX	mixed colors	Sun		
Poppy, Orential XX	red, pink, white	Sun		
Potentilla, Creeping XX	yellow	Sun	Part	
Pussytoes XXX	pink, white	Sun	Part	Shade
Saxifrage	pink, white	Sun	Part	
Sea Pink XX	pink	Sun		
Sedum XX	yellow, pink , white	Sun		
Snow-in-Summer X	white	Sun	Part	
Snow on the Mountain	white	Sun	Part	Shade
Strawberry	white, pink	Sun	Part	Shade
Sulphurflower XXX	light yellow, cream	Sun		
Sunrose XX	mixed colors	Sun		
Sweet William	Pinks, Mixed	Sun	Part	
Thyme, Creeping XX	lavender, red	Sun	Part	
Wallflower	orange	Sun	Part	
Yarrow XX	mixed colors, white	Sun		



LATE SEASON FLOWERING PLANTS



Mid June - July

PLANT	COLOR	SUN	PART	SHADE
Anthemis (Marguerite) XX	orange, yellow	Sun		
Aster XX	lavender, pink	Sun	Part	
Baby's Breath, Creeping XX	pink, white	Sun	Part	
Black-Eyed Susan XX	yellow	Sun	Part	
Bellflower X	purple, blue, white	Sun	Part	Shade
Coneflower X	purple, white	Sun		
Daisy, Shasta and Painted X	white, pink, red	Sun		
Delphinium	purple blue, pink, white	Sun	Part	Shade
Dianthus, Pinks XX	pink, red white	Sun	Part	
Erigeron (Fleabane)	lavender, pink, white	Sun		
Fireweed X	pink	Sun	Part	Shade
Flax, Blue XXX	blue	Sun	Part	
Gaillardia XXX	yellow, orange, red	Sun		
Gentian	blue	Sun	Part	Shade
Geranium X	magenta, white, pink, blu	Sun	Part	Shade
Goldenrod XX	yellow	Sun	Part	
Hens & Chicks XX	pink, yellow	Sun		
Lily	mixed colors	Sun	Part	
Mallow, Malva	white, pink	Sun		
Maltese Cross	red, white	Sun	Part	
Monarda	purple, red, pink	Sun	Part	Shade
Monkshood	purple, bicolor		Part	Shade
Pansy X	mixed colors	Sun	Part	Shade
Penstemon XXX	mixed colors	Sun	Part	Shade
Potentilla, Perennial	yellow, red, cream	Sun	Part	
Poppy, California XX	orange, white, yellow	Sun		
Poppy, Icelandic XX	orange, yellow, pink	Sun		
Poppy, Oriental XX	red, pink, white	Sun		
Saxifrage	mixed colors	Sun	Part	
Scabiosa XX	white, pink, lavender	Sun		
Senecio	yellow	Sun	Part	Shade
Sedum XX	pink, white, yellow	Sun		
Sulphurflower XXX	beige, yellow	Sun		
Thyme, Creeping XX	lavender, pink, red	Sun		
Veronica XX	blue, pink, white	Sun	Part	
Yarrow XX	red, yellow, mixed	Sun		

HERBS: PERENNIAL AND ANNUAL

The following is a list of perennial and annual herbs that work well in Summit County
 Ask for assistance infor the best outdoor selections

Perennial Herbs:

Angelica
 Bee Balm
 Catnip
 Chives, Regular and Garlic
 Comfrey
 Costmary
 Foxglove
 Germander
 Hop Vine
 Horseradish
 Hyssop
 Lemon Balm
 Lavender (Semi-Hardy)
 Lemon Balm
 Lovage
 Oregano
 Marjoram, Sweet (Semi-Hardy)

Mints: Apple
 Bargamot
 Candy
 Chocolate
 Lemon/Lime
 Mint Julep
 Peppermint
 Spearmint



Sage
 Savory, Winter
 Sorrel, French
 Tarragon, French
 Thyme
 Valerian
 Wormwood
 Yarrow



Indoor Perennial Herbs:

Bay Leaf
 Rosemary
 Scented Geranium

Biennial Herbs:

Parsley; Plain, Italian, Triple Curled

Annual Herbs:

Anise
 Basil; Seewt, Spicy or Purple
 Borage
 Burnet
 Caraway
 Chicory
 Chervil



Corinader / Cilantro
 Dill
 Fennel
 Horehound
 Lemon Verbena
 Watercress
 Wintergreen

VEGETABLES

COOL/ SHORT SEASON PLANTS FROM SEED:

PLANT	SUGGESTED CUTIVARS
Beans, Garden	Blue Lake (Bush) Kentucky Wonder (Pole) Improved (Bush)
Beet	Detroit Dark Red Tall Top Early
Broccoli	De Cicco Green Sprouting Calabrese
Brussle Sprouts	Catskill
Cabbage	Copenhagen Market Early
Carrot	Danvers Scarlet
Lettuce	Limestone (Bibb) Black Seeded Simpson Buttercrunch Grand Rapids Great Lakes Mesclun mix Parris Island (Romain) Salad Bowl Red
Onion	Bunching (Type)
Parsnip	Harris Model
Peas	Alaska Wilt Resistant Little Marvel (Dwarf) Melting Sugar Oregon Sugar Sugar Snap
Radish	Cherry Belle Sparkler Red Devil B
Roquette (Arugula)	
Spinach	Bloomsdale Long Standing Teton (hybrid)
Turnip	Purple Top White Globe

WARM SEASON PLANTS FROM SEED:

PLANT	SUGGESTED CUTIVARS
Pepper	California Wonder Habanero
Tomato	Better Boy Supersweet

FROM STARTS : COOL AND WARM SEASON

Broccoli	
Brussle Sprouts	
Cabbage	
Cauliflower	
Onions From Sets	Yukon Gold Northern Red
Peppers	
Potato	
Rhubarb	Patio Siberan Early
Strawberries	
Tomatoes	



METHODS TO INCREASE GROWING SEASON

- Cold Frame
- Greenhouse
- Dark Mulch
- Frost Covers
- Micro-Climature
- Start Seeds Indoors



SHADE TOLERANT PLANTS



SHRUBS AND TREES

Alder, Thinleaf
 Buffalo Berry, Russet
 Buffalo Berry, Silver
 Chokecherry, Native
 Chokecherry, 'Shubert's'
 Curant, Alpine
 Dogwood, Redtwig
 Dogwood, Yellowtwig
 Elder, Red-berried
 Juniper, Common
 Honeysuckle, Twinberry
 Honeysuckle, 'Arnold's Red'
 Kinnikinick
 Mahonia, Creeping
 Mountain Lover
 Ninebark, Mountain
 Rose, Wood's
 Snowberry
 Sprea, Ashleaf
 Thimbleberry
 Willow, Dwarf Artic

PERENNIALS

Ajuga
 Bellflower
 Bergenia
 Bishop's Weed
 Bleeding Heart
 Buttercup, Creeping
 Candytuft
 Columbine
 Coral Bells
 Foxglove
 Gentian
 Geranium, Sticky
 Hosta
 Irish and Scrch Moss
 Jacob's Ladder
 Lamb's Ears
 Lamium
 Ligularia
 Meadow Rue
 Mertensia
 Monarda
 Phlox, Creeping
 Primula
 Pussytoes
 Saxifrage, Mossy
 Sedges
 Sweet Woodruff
 Veronica, Creeping
 Viola

ANNUALS AND BULBS

Crocus
 Crocus, Autumn
 Canterbury Bells
 Catnip
 Daffodils
 Hyacinth
 Hyacinth, Grape
 Lobelia
 Pansy
 Scilla
 Snowdrops
 Wild Strawberry



DROUGHT TOLERANT / WATER-WISE PLANTS

EVERGREEN TREES:

Bristlecone Pine **XX**
 Lodgepole Pine **XX**
 Limber Pine

DECIDUOUS TREES:

Crabapple **X**

SHRUBS:

Buffaloberry **XXX**
 Chokeberry, Black **X**
 Chokecherry, Native **X**
 Chokecherry, Shubert's **X X**
 Cotoneaster, Peking **X X X**
 Currant, Alpine **X X X**
 Currant, Red Lake **X X X**
 Currant, Golden **X X X**
 Currant, Squaw or Wax **X X X**
 Fernbush **XXX**
 Gooseberry **XXX**
 Honeysuckle, 'Arnold's Red' **XX**
 Juniper **XX**
 Kinninick **XX**
 Lilac, Canadian /Common **XX**
 Mahonia, Creeping **XX**
 Maple, Amur **XX**
 Mountain Ninebark **X X**
 Mugo Pine **X**
 Potentilla **X X**
 Raspberry, Wild **X X**
 Rose, Woods **X X**
 Sage, Big Leaf **X X X**
 Serviceberry **X**
 Siberian Peashrub **X X X**
 Spirea, Rock or Ashleaf **X**

PERENNIALS:

Ajuga
 Alyssum **XX**
 Anemone, species
 Aster **XX**
 Baby's Breath, Creeping **XX**
 Bachelor Button **XX**
 Bellflower **X**
 Bishop's Weed **XX**
 Black-Eyed Susan **XX**
 Border Jewel **XX**
 Candytuft **X**
 Columbine **X**
 Coral Bells **X**
 Coneflower **X**
 Cushion Spurge **XXX**
 Daisy, Shasta and Painted **X**
 Daylily **XX**
 Delphinium **X**
 Dianthus **XX**
 Edelweiss **X**
 English Daisy
 Erigeron/Fleabane **XX**
 Evening Primrose **XXX**
 Fireweed **X**
 Flax, Blue **XXX**
 Foxglove **X**
 Gaillardia **XXX**
 Geranium **X**
 Geum **XX**
 Goldenrod **XX**
 Harebell **X**
 Hens & Chicks **XX**
 Hop Vine
 Iceplant **XX**

PERENNIALS:

Iris, Bearded **X**
 Jacob's Ladder **XX**
 Lambs Ears **XX**
 Lamium **X**
 Liatris **X**
 Maltese Cross **XX**
 Oregano **XX**
 Partridge Feather **XXX**
 Pasque Flower
 Penstemon, Rocky Mtn. **XXX**
 Penstemon **XXX**
 Peony **X**
 Phlox, Creeping **XX**
 Phlox, Garden
 Poppy, Icelandic **XX**
 Poppy, Oriental **XX**
 Potentilla, Creeping
 Prairie Smoke **XX**
 Pussytoes **XXX**
 Rockcress **XX**
 Salvia **XX**
 Scabiosa **XX**
 Sea Pink
 Sedum, spp **XX**
 Silver Mound **XX**
 Snow-in-Summer **X**
 Soapwort **X**
 Sulphurflower **XXX**
 Sunrose **XX**
 Sweet Woodruff **XX**
 Thyme, species **XX**
 Veronica, Creeping
 Veronica, Turkish & Woolly **XX**
 Yarrow **XX**

ANNUALS:

African Daisy **X**
 Bacopa **X**
 Cosmos **XX**
 Calendula **XX**
 Cornflower **XXX**
 Dusty Miller **XX**
 Four O'Clock **XX**
 Gazania **XX**
 Marguerite Daisy **X**
 Marigold **XX**
 Moss Rose **XX**
 Nasturtium **X**
 Nierembergia **XX**
 Pansy **X**
 Petunia **XX**
 Poppy, California **XXX**
 Salvia **XXX**
 Twinspur **XX**
 Vinca Vine **XX**
 Viola **XX**



HIGH ALTITUDE WETLAND PLANT LIST

DECIDUOUS TREES:

Alder, Thin Leaf
Aspen
Birch, Western Red
Cottonwood, Narrowleaf
Poplar, Balsam

SHRUBS:

Birch, Bog
Elder, Red-Berried
Honeysuckle, Twinberry
Willow, Golden
Willow, Bluestem
Willow, Mountain
Willow, Coyote
Willow, Creeping
Willow, Climax

PERENNIALS:

Monkshood
Marsh Marigold
Fireweed
Wild Strawberry
Gentian
Sticky Geranium
Wild Iris
Rushes
Yellow Monkeyflower
Red Monkeyflower
Little Pink Elephant
Parry's Primrose
Native Violet
Chiming Bells



APPENDIX 5.6

Town of Frisco Guidelines for Fences

§ 180-24.1 Fences and walls. [Amended 5-19-1998 by Ord. No. 98-08]

A fence, wall, or any similar type of screen or any combination of such items not defined as a structure (refer to Section 180-5) may be erected on any lot including within a setback, subject to the following conditions and requirements. It is the intent of these conditions and requirements to provide privacy and protection, and screening and accenting of shrubs and landscaping without unduly interfering with the scenic view from neighboring properties or jeopardizing the safety of pedestrians and vehicles.

A. Uniform Building Code applicable. All fences and walls are subject to the Uniform Building Code requirements.

B. Location of property lines. It shall be the responsibility of the property owner to locate all property lines.

C. Encroachment. No fence or wall may extend beyond or across a property line unless in joint agreement with the abutting property owner granting each a cross-easement.

D. Obstruction of visibility. No fence or wall shall be located within fifteen (15) feet of any street intersection or be so located as to block, obscure or minimize visibility at any street intersections.

E. Materials. Fences and walls shall be constructed of natural materials such as wood, river rock or stone whenever practical.

F. Height. Fences and walls shall not exceed four (4) feet in height measured from the existing natural grade at the base to the highest point of the fence or wall within any front or side yard. Fences and walls shall not exceed six (6) feet in height measured from the existing natural grade at the base to the highest point of the fence or wall within any rear yard. No fence or wall may be artificially elevated by means of a berm or other method for purposes of height calculation.

G. Fences and walls exceeding six (6) feet in height but no more than eight (8) feet in height measured from the existing natural grade at the base to the highest point of the fence or wall may be allowed if:

- (1) they are temporary fences on construction sites erected for protection purposes during the period of construction only; or
- (2) they enclose garbage dumpsters; or
- (3) they enclose outdoor storage areas in nonresidential districts.

H. Fences and walls exceeding six (6) feet in height, as permitted in Subsection F. above, or exceeding eight (8) feet in height as permitted in Subsection G. above, shall require conditional use approval.

**PEAK ONE NEIGHBORHOOD ASSOCIATION
HOMEOWNER DIRECTORY INFORMATION**

Please complete the following information for the Association records. We use email as our primary communication and send out many important messages this way so please provide an email address that you check regularly. Please note all our correspondence is prefaced with PON: on the subject line for easy filing and so you can set up rules to sort this important email.

When the information is completed please return this form to the Peak One Neighborhood P.O. Box 4626 Breckenridge, CO 80424 or send an email to info@peakoneneighborhood.org.

Please note: As a policy the HOA does not share your info with any outside parties.

NAMES:

Homeowner no. 1

Homeowner no. 2

Children:	#1	#2
	#3	#4

Physical Address

Mailing Address
(P.O. Box, City, State, Zip Code)

Home Phone Number

Work Phone Number

Cell Phone Number

Fax Phone Number

Email Address

Pet(s)

Pet Name(s)